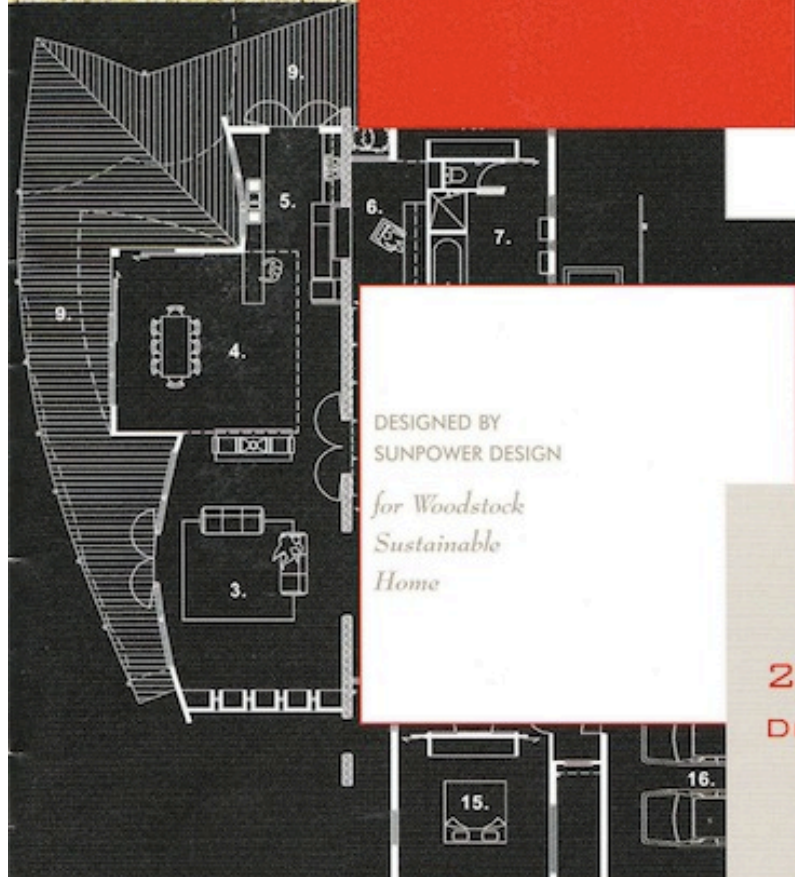


# B D A V AWARDS

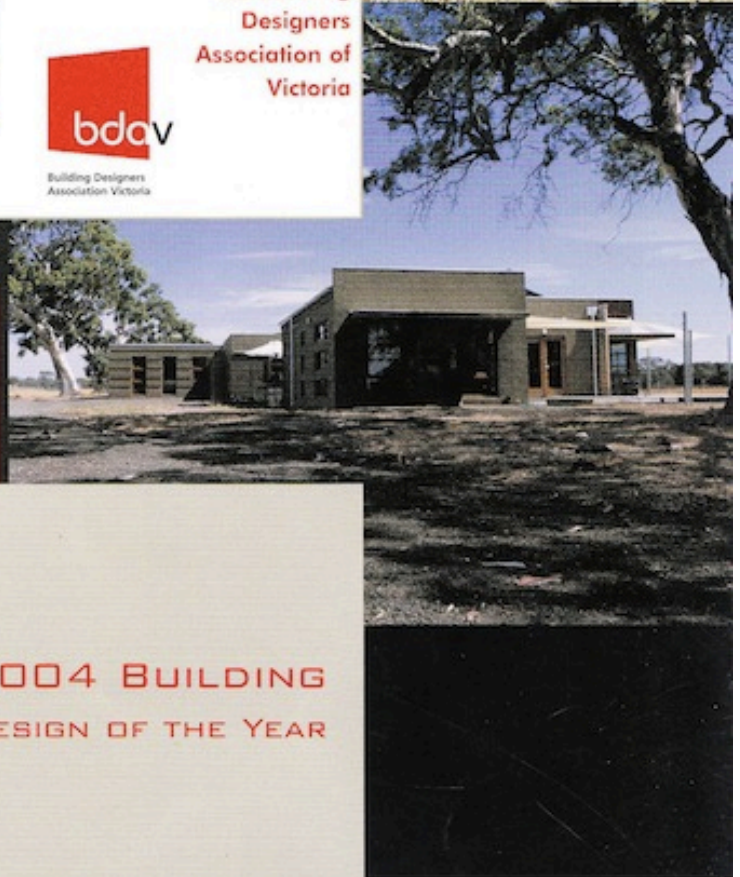
*Special  
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**ENTRANT: Michael O'Sullivan & Associates Design Pty Ltd**  
PHONE: (03) 5985 2888  
WEB: [www.mosassociates.com.au](http://www.mosassociates.com.au)

*Project: Lahinch Drive, Moonah Links*

Our client, a lifestyle development company, purchased land at Moonah Links Golf Course and asked us to design a contemporary styled home. We were given free reign on the design, which was guided by extensive views over the immediate golf course and

surrounding rural views. The house was to be marketed for sale upon completion. It had to appeal to a range of buyers. We envisaged the prospective owners entertaining on the deck while viewing the Australian Open metres from their lounge. The clients were overwhelmed with the overall feel and zoning of the home, which lends itself to any lifestyle. The design captures magnificent views to the open golf course. The extensive use of glass and steel contribute to a stylish, contemporary home with unique features.



**ENTRANT: Peter J Jackson Building Design Consultants**  
PHONE: (03) 9557 4790

*Project: Inverloch Residence*

The brief was to design a two-storey beach house on the Inverloch foreshore that complements the coastal tranquility of its surrounds, yet also offers a unique and vibrant expression of the owner's personality. Aesthetically, the home had to be light and open with gentle stream-lined curvatures of geometry. The home had to allow for sun-drenched outdoor living which was sheltered

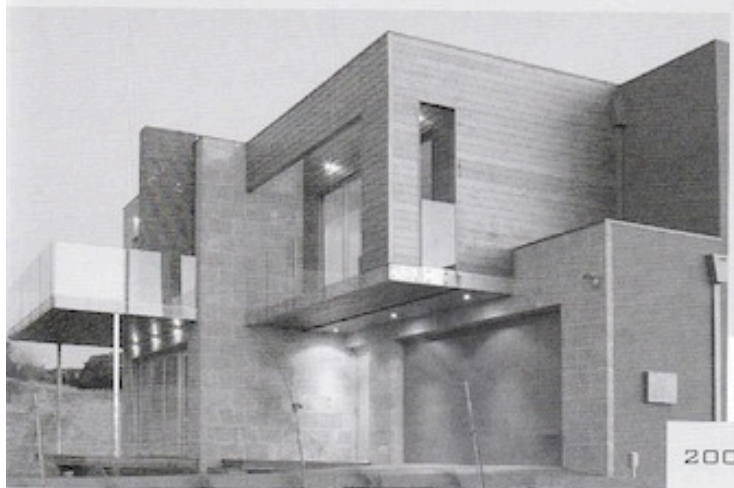
from cold coastal winds. Living zones had to connect with the outdoors through large unobstructed glazing which would remain shaded during hotter months. This residence is comfortable to live in throughout the year. Outdoor living areas are sheltered from coastal winds, yet also receive north through to west sunlight for entertaining and outdoor living from mid-day through to the late afternoon.

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*Project: Arthurs View, Moonah Links*

After years of living on the Mornington Peninsula and withstanding the hustle and bustle of the area in holiday seasons, the clients purchased land at the Moonah Links Golf Course. The block overlooks a practice pitch and putt to the north. It has direct views of the 16th fairway of the Legends Golf Course to the south. Its back drop is the National

Golf Club and Leigh Freidman Training Grounds. The clients' only request was to incorporate a separate living area for their teenagers into a contemporary style design. The exciting design outcome is a visually pleasing combination of materials seen from the north façade, making use of sandstone, cedar and glass. The render colour, featured heavily on the southern side, blends perfectly with surrounding Moonah trees and natural grasses.



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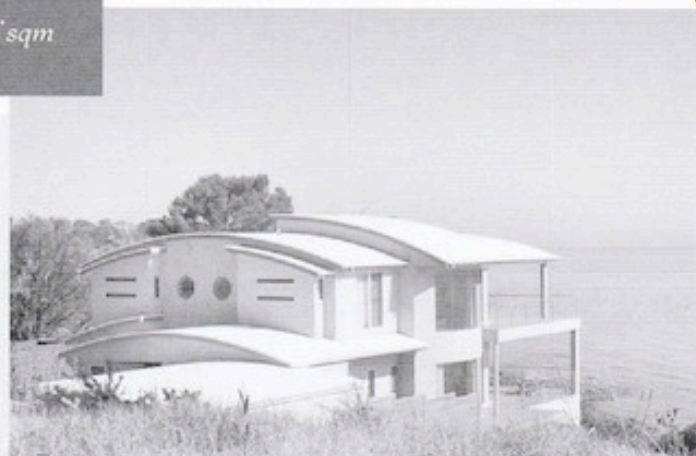
**ENTRANT: McLauchlan & Associates Building Design Consultants**

PHONE: (03) 9888 3444  
WEB: [www.mclauchlan.com.au](http://www.mclauchlan.com.au)

*Project: Flinders Residence*

The brief was to design a retirement home with facilities for guests and visiting family. The client wanted limestone walls, extensive use of French doors with internal shutters, and an upper level private den. There were several challenges posed by the site, including its considerable

fall, and the southerly orientation of ocean views. These required a solution that took advantage of these views and addressed issues of practical warmth and comfort. We re-contoured the site to provide space and terracing, to allow northern sunlight into a courtyard area. The main entrance driveway was relocated to provide a more picturesque entrance to the home. Careful detailing inside and out has created a low maintenance home with elegance, totally answering the clients brief.



**ENTRANT: Peter J Jackson Building Design Consultants**

PHONE: (03) 9557 4790

*Project: Frankston Residence*

The client wanted a substantial family home to be designed on a steep sloping site overlooking Port Phillip Bay. It had to be in total harmony with its surrounds and maximise the magnificent bay views. Due to the site constraints, the building required lightweight construction on a specialised footing system. We have

achieved the design of a "dream home" on an extremely difficult site. No compromises were made, and everything the client hoped for has been achieved. Extensive consideration was given to the orientation and design of living spaces to maintain solar efficiency without compromising the magnificent bay view. The home sits harmoniously on the site, and blends in effortlessly with its natural surrounds.

**ENTRANT: Port Phillip Plans**

PHONE: (03) 5985 9990

*Project: Blairgowrie Residence*

A large open living timber residence was requested for a growing family. They wanted alternative building materials, separate living zones for parents, children and entertainment, large open outdoor entertaining area, three bedrooms, open plan living and an in ground swimming pool. They also wanted a double garage with easy access, and a grand entrance which flows into a

large family room, with a "WOW" factor. The residence had to comprise a combination of curved and angle walls to create an aesthetic appearance yet remain cost effective for its size. The finished design has simplistic appeal, yet captures the entire clients' brief. The home has blended into the natural environment by using varied building materials and features, yet without imposing on the neighbourhood character.

**ENTRANT: Modav Designs**

PHONE: (03) 5261 7477

*Project: Moorfield Park, Ocean Grove*

The clients required a double-storey dwelling on a 5,000sqm coastal/rural allotment at the Moorfield Park Estate, Ocean Grove, complete with a water catchment lagoon and heavily treed neighboring reserve. They had a rapidly growing family of four children, and wanted both large communal areas, as well as

a private space for each individual. They wanted their new home to be modern, open and contemporary, but to maintain a sense of belonging in-line with the semi-rural allotment. They also wanted to take advantage of the existing lagoon and the views over the treed reserve. The clients also wanted to incorporate an in-ground pool adjacent to their living areas. All this, and more, has been achieved.



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